

EDEN RESIDENTIAL ESTATE



ARCHITECTURAL GUIDELINES

Rev 10 – September 2025



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A. DUET - GROUP HOUSING

ARCHITECTURAL GUIDELINES

1. Purpose

- 1.1. The Architectural Guidelines have not been drawn up to unreasonably constrain the design, but to establish an architectural language that embraces clean lines, neutral colours, natural light and functionality for the development. A combination of painted wood float and textured plaster in natural earthy colours are to be used.

These guidelines may be updated and amended from time to time without prior notice. The owner is to ensure that the latest revised version of this document is used prior to commencing with the design of any building on the estate.

2. Building Forms

- 2.1. House forms are to be composed of major and minor plan elements. The major plan element must be parallel to the shared / common boundary (with 0 meter building line) – attached to the adjacent unit sharing the 0m building line.

3. Walls

3.1. Materials:

- 3.1.1. All exterior walls to residences are to be constructed from masonry with a combination of textured plaster and wood floated plaster all with a painted finish. A plastered corbel band must separate the different plaster finish horizontally.
- 3.1.2. All external walls to be 270mm cavity walls.
- 3.1.3. The duet units must be divided by a communal wall constructed as a firewall in terms of the National Building Regulations. This wall must be cladded with stone cladding as specified by the Architect. Dimensions and form of this wall must be as detailed by the Architect.
- 3.1.4. Cement bricks or blocks will only be allowed for the construction of boundary and/or retaining walls.

3.2. Colours:

- 3.2.1. All external walls to be painted in the approved colour codes specified by the Architect.
- 3.2.2. Two colours will be allowed per house with an additional accent colour for corbel bands.

4. Height Restrictions

4.1. Double storey and split-level buildings:

- 4.1.1. Access to the garage of the unit not to exceed 1:8. The floor to ceiling / slab height for the lower floor to be a maximum of 2975mm. The maximum height for all these

buildings should not exceed 5.5m from finished floor level of the upper floor or highest finished floor level at split-level units.

4.2. Single storey buildings:

- 4.2.1. Access to the garage of the unit not to exceed 1:8. The maximum height for all these buildings should not exceed 5.5m from highest finished floor level.

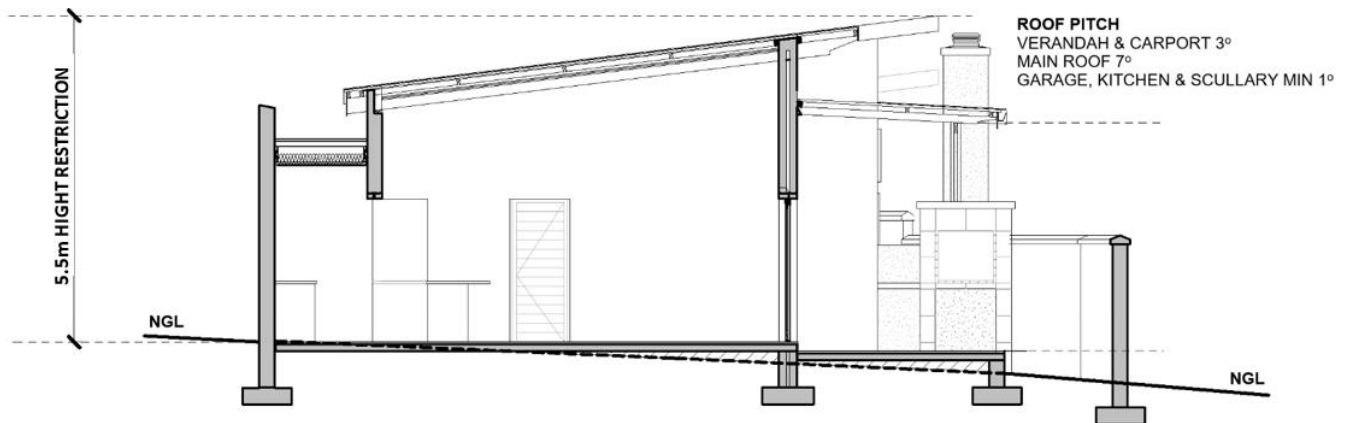


Figure 01: Single Storey Height Restrictions

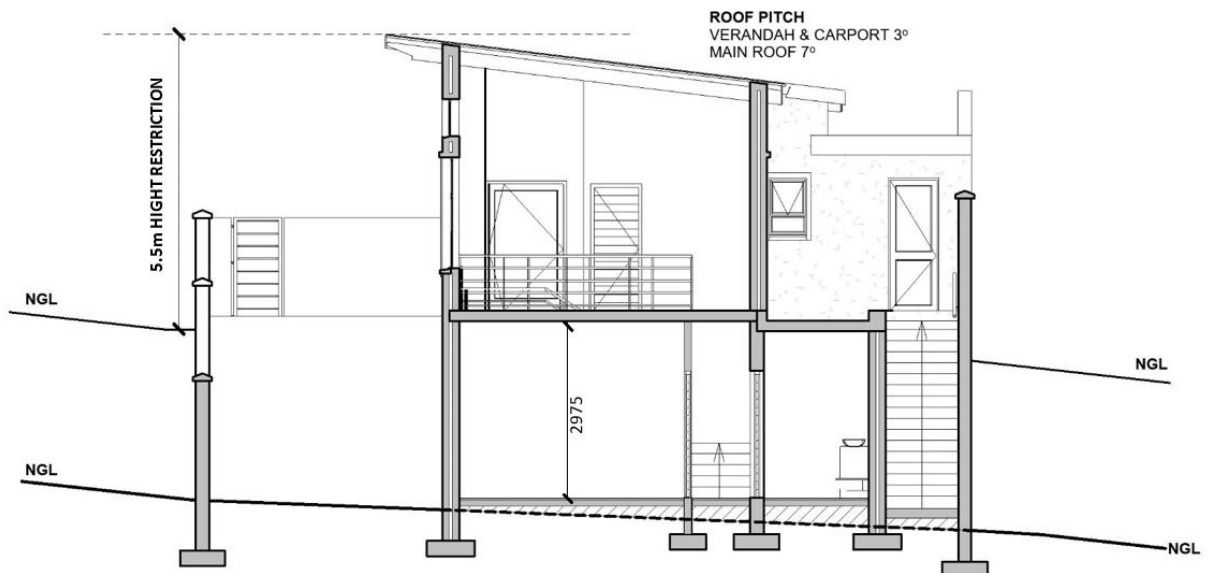


Figure 02: Double Storey Height Restrictions

5. Roofs

5.1. Pitch

- 5.1.1. All main roofs to be mono-pitched and have a 7° roof pitch.
- 5.1.2. Lean-to verandah (enclosed or open) and carport roofs to have a 3° pitch. These roofs do not have to be enclosed by horizontal parapet walls, but have to be finished off at the sides with fibre cement barge boards.
- 5.1.3. Low pitch metal roofs over garages and scullery areas should have a minimum 3° pitch. These roofs or any other part of the dwelling must be enclosed on all four sides.
- 5.1.4. Entrance Pergola's may be covered and should have a minimum 1° pitch. All according to the Eden Residential Estate Architect detail & permission.
- 5.1.5. Roof overhangs:
 - Top – 900mm
 - Bottom 300mm – 600mm
 - Side overhangs – 300mm

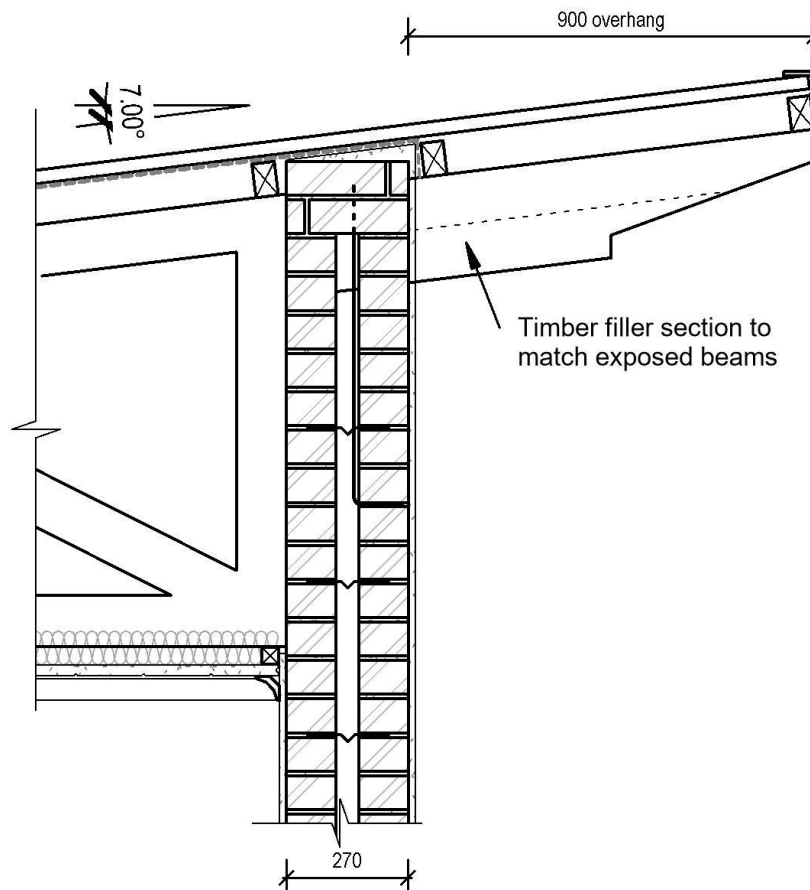


Figure 03: Roof Truss & Overhang (Top overhang)

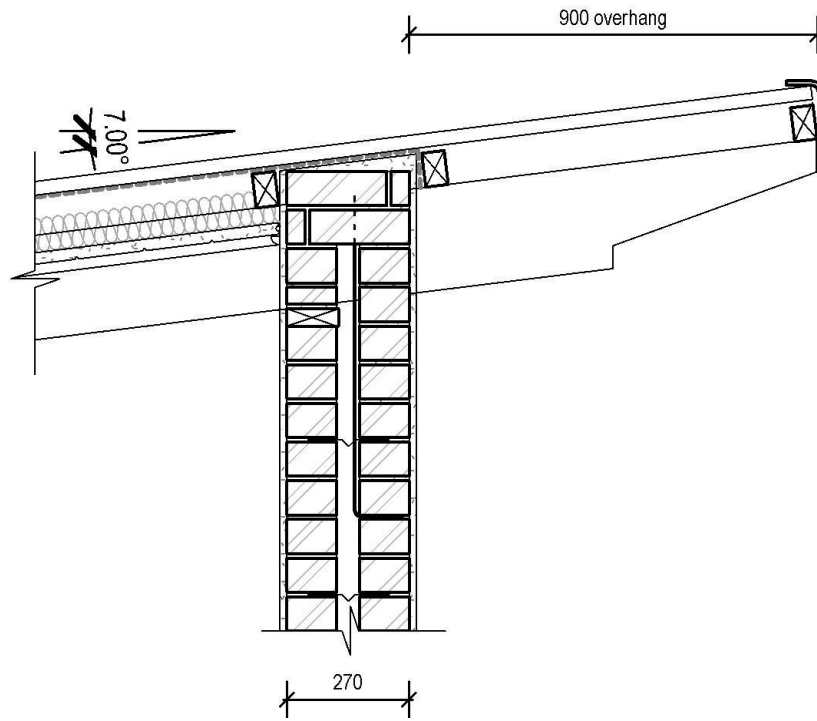


Figure 04: Rafter/Beam & Overhang

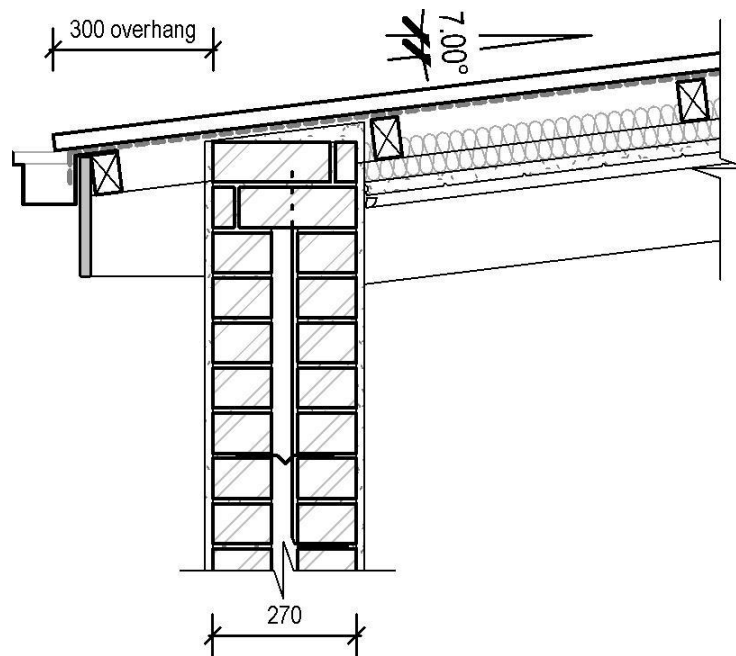


Figure 05: Rafter/Beam & Overhang (Bottom & Sides overhang)

5.2. Materials

- 5.2.1. Main roof - Safintra Saflok 700 Coroplush interlocking roof sheeting.
- 5.2.2. Lean-to verandah (enclosed or open) and carport roofs - Safintra Saflok 700 Coroplush interlocking roof sheeting.

- 5.2.3. Garages and scullery areas - Safintra Saflok 700 Coroplus interlocking roof sheeting or Concrete Slab with full bore outlets.
- 5.3. Colour
- 5.3.1. All roofs are to be pre-painted (approved colour codes specified by the Architect).
- 5.4. Gable Ends
- 5.4.1. Gable ends of all roofs shall be finished with 200mm fibre cement barge boards.
- 5.5. Fascias, gutters and down pipes:
- 5.5.1. All roof ends are to be properly finished with 225mm x 10mm fibre cement fascia boards.
- 5.5.2. All gutters and downpipes are to be pre-painted seamless aluminium (approved colour codes specified by the Architect).
- 5.6. Chimneys
- 5.6.1. All braais to have a plastered and painted brick chimney to architect's detail.
- 5.6.2. Total height to be four (4) Bricks Higher than the top of adjacent roof.
- 5.6.3. Only 320 x 220mm 3CR12 fixed turbo cowl will be allowed.

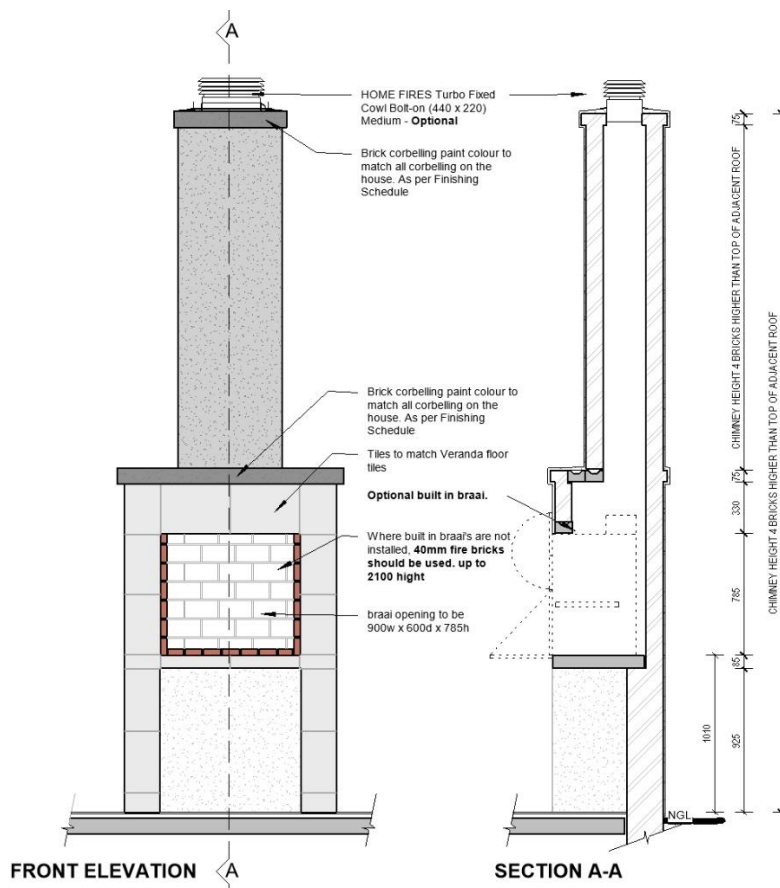


Figure 06: Typical braai

6. Window & External doors

6.1. Windows

- 6.1.1. All window frames are to be manufactured from charcoal powder coated aluminium (approved colour codes specified by the Architect).
- 6.1.2. Same aluminium type windows and similar proportions must be used on adjoining duets.
- 6.1.3. Only clear security solutions will be allowed:- Transparent Polycarbonate Burglar Bars OR Meshguard Windows and Gates, all to the approval of the HOA / Architect.
- 6.1.4. All windows to receive plaster bands as per architect detail.

6.2. External Doors

- 6.2.1. Entrance doors and frames to be either oiled Meranti in a horizontal slatted design or charcoal powder coated aluminium and glass. Entrance doors to be 1 200mm wide and have a maximum height of 2 380mm. Doors to be either 1 200mm wide pivot door or 813mm wide with glazed sidelight (approved colour codes specified by the Architect).
- 6.2.2. All back / scullery doors and frames to be to be charcoal powder coated aluminium and glass. Doors to be 813mm wide and 2 100mm high (approved colour codes specified by the Architect).
- 6.2.3. All external glazed door frames to be manufactured from charcoal powder coated aluminium including sliding doors, stack & folding doors and patio doors. Maximum height for external glazed doors is 2 380mm including top lights (approved colour codes specified by the Architect).
- 6.2.4. Frameless stack and folding doors in similar proportions to framed doors will be allowed.
- 6.2.5. Same aluminium type doors and similar proportions must be used on adjoining duets.
- 6.2.6. Only clear security solutions will be allowed:- Meshguard Windows and Gates, all to the approval of the HOA / Architect.
- 6.2.7. All garage doors to be manufactured from charcoal powder coated aluminium in a horizontal slatted design. Garage doors to be either 2 440mm (single) or 4 880mm (double) wide and have maximum height of 2 400mm (approved colour codes specified by Architect).

6.3. Glazing

- 6.3.1. All glazing to be executed strictly in conformance with the glass manufacturers' recommendations and in accordance with the National Building Regulations and in accordance with DSS SANS 10400-Part N: 2006 Edition 3, SABS 0400, SABS 1263 and AAAMSA selection guide for safety glazing materials.
- 6.3.2. Only sandblasted glass will be accepted as obscure glass.

7. Shutters

7.1. Type

- 7.1.1. Where shutters are required to the external façade of a building the shutters are to be single width sliding shutters with a maximum size of 50mm larger than the opening of the window at the top and the sides and down to FFL at the bottom.

7.2. Material

- 7.2.1. External shutters to be manufactured from charcoal powder coated aluminium (approved colour codes specified by the Architect).

8. Timber Decks & Columns

8.1. General

- 8.1.1. Timber decks will be allowed on square (345mm x 345mm) plaster and painted columns. No decks on timber stilts will be permitted.
- 8.1.2. Covered verandahs, decks & patios are considered part of the building structure and should be within the building lines of the specific site, except where relaxation is approved (refer to 20.3). Open verandahs, decks and patios can extend to the boundary wall.
- 8.1.3. The following decking material will be allowed: Treated Timber, uPVC Decking & Synthetic Decking.
- 8.1.4. All exposed SA Pine must be high pressure Tanalith treated timber.

8.2. Colour

- 8.2.1. Timber to be stained / finished in a dark natural colour (approved colour codes specified by the Architect).
- 8.2.2. uPVC and synthetic decking must be dark brown colour (approved colour codes specified by the Architect).

9. Balustrades

- 9.1. All balustrades to conform to the National Building Regulations.
- 9.2. No timber or uPVC balustrades are allowed.
- 9.3. The following balustrades will be allowed:
- 9.3.1. Charcoal painted galvanized steel in horizontal section design (approved colour codes specified by the Architect).
- 9.3.2. Charcoal powder coated aluminium in horizontal section design (approved colour codes specified by the Architect).
- 9.3.3. Stainless steel in horizontal section design (approved colour codes specified by the Architect).
- 9.3.4. Glass (clear or tinted) with a frame as specified in 9.3.1, 9.3.2, & 9.3.3.
- 9.3.5. Frameless glass (clear or tinted).

Pergolas & Verandahs

- 9.4. Charcoal painted galvanized steel or treated timber structures are permitted (approved colour codes specified by Architect).
- 9.5. Verandah roofs to have a 3° pitch and do not have to be enclosed by horizontal parapet walls but have to be finished off at the sides with fibre cement barge boards.
- 9.6. Aluminium louvres are allowed, provided that the structure form part of the pergola or are screened behind fascia or parapet.
- 9.7. 100mm x 100mm Charcoal painted galvanized square tubing or 150mm x 150mm treated timber support columns are permitted (approved colour codes specified by Architect).
- 9.8. 345mm x 345mm plastered and painted brick support columns are permitted.
- 9.9. Square tubing or treated timber and plastered & painted brick columns (as described in 9.7 & 9.8) can be combined as pergola support.

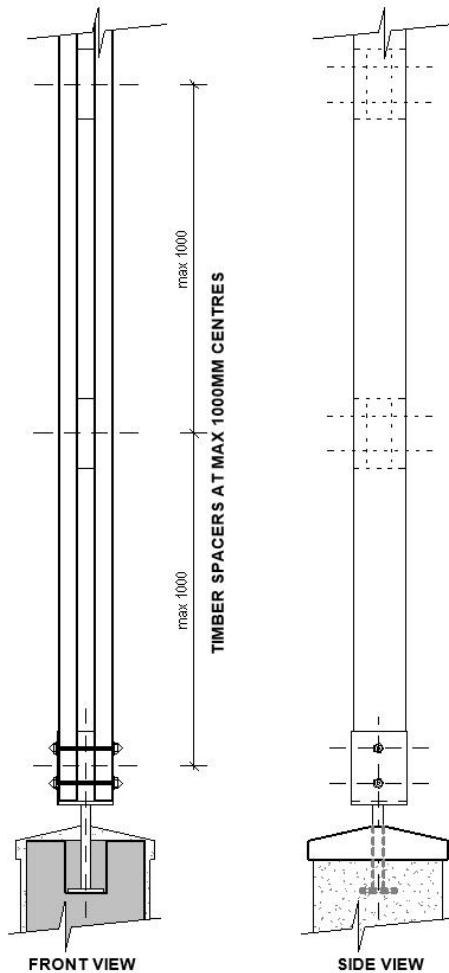


Figure 07: Typical Timber Column

- 9.10. No aluminium or fibreglass awnings and canopies are permitted.
- 9.11. Entrance Pergola's may be covered and should have a minimum 1° pitch. All according to the Eden Residential Estate Architect detail & permission.

10. Lighting

- 10.1. External lighting should illuminate pathways and not shine up into houses or towards the street or neighbors. As a rule the light selection should be to see the light but not the light source.
- 10.2. No flood lights permitted.
- 10.3. No decorative external lights are allowed.
- 10.4. All light fittings to be black in colour and to be approved by the HOA.

11. Boundary Walls

- 11.1. Boundary walls to be constructed from plastered masonry or cement bricks / blocks with a painted finish to match the dwelling. All plastered boundary walls to have a plastered coping (see Architects detail).
- 11.2. Boundary walls are not permitted on the street boundary with vehicular access.
- 11.3. Properties must be enclosed on the side and rear boundaries (optional for stands facing green area).
- 11.4. Maximum height for boundary walls is 1 800mm. Special consideration will be given to increase the height in specific areas to 2100mm based on the approval by the HOA and the relevant neighbour.

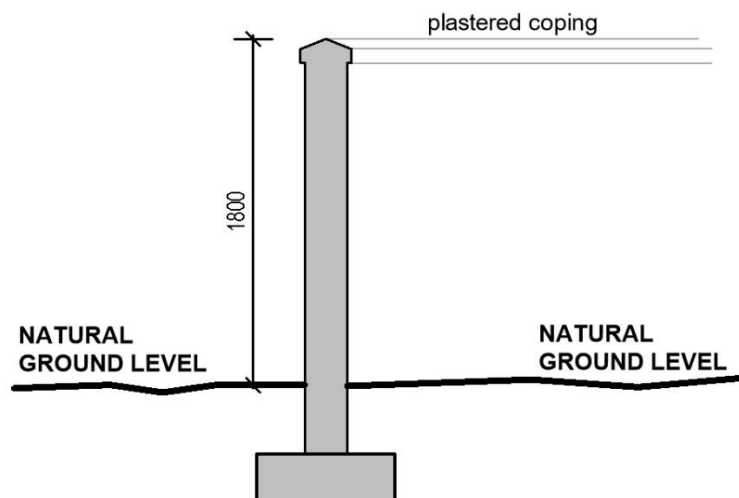


Figure 08: Typical boundary Wall

- 11.5. No wire type fencing will be permitted. ClearVu fencing will only be allowed at properties facing the green area.
- 11.6. No pre-cast or palisade fencing will be permitted.
- 11.7. Yard walls enclosing drying and service yards to be 1,8m in height and should be constructed of plastered masonry with a painted finish to match the dwelling.
- 11.8. Standard Picked fence/ timber slats boundary fencing will be considered and approved by the HOA.

12. Retaining Walls

- 12.1. Retaining structures to be designed by the Structural Engineer and should form part of the visual extension of the building.

13. Driveways, Parking & Footpaths

13.1. General

- 13.1.1. All group housing units to accommodate two (2) parking spaces per unit.
- 13.1.2. Maximum width for the relevant driveway will be 500mm wider than the garage door or carport opening and should extend to the edge of the roadway.
- 13.1.3. Garage doors must be set back at least five (5) meters from the kerb of the street.

13.2. Material

- 13.2.1. All paving to be charcoal coloured concrete pavers.
- 13.2.2. Hard surfaced areas are to be avoided to limit the stormwater runoff and should be restricted to vehicle driveways and yard areas.
- 13.2.3. Charcoal coloured concrete stepping stones with landscape breaks are recommended for walkways.

14. Carports

- 14.1. Lean-to carport roofs to have a 3° pitch. Carport roofs do not have to be enclosed by horizontal parapet walls but have to be finished off at the sides with fibre cement barge boards.
- 14.2. Only single carports will be allowed in front of single garages. Municipal building line relaxation will be allowed should these carports extend over the building line.
- 14.3. Plastered brick columns and square tubing or treated timber posts for carports to be similar to pergolas and verandahs.
- 14.4. Detached stand alone carports are not allowed.
- 14.5. No steel framed shade cloth carports are permitted.
- 14.6. No double carports will be allowed.

15. Water and Energy Saving Devices

- 15.1. It is compulsory to use water and energy saving devices and the architectural design of the building must be energy efficient.

16. Utilities

16.1. Solar panels

- 16.1.1. The use of energy-saving devices is strongly recommended and their placing to be approved by the HOA.

16.2. Satellite dishes

- 16.2.1. These devices are to be placed below the roof line in a discreet position and colour. Positions of these devices to be submitted for approval.

16.3. Air-conditioning

- 16.3.1. No visible air-conditioning units are permitted (must be installed on ground level).

17. **Swimming pools and outside structures**

- 17.1. Rim flow pools are allowed on sites with suitable slopes, but pool to be within the building lines.
- 17.2. Pools to be square or rectangular shape and to be surrounded by a timber deck or paving on at least three sides.
- 17.3. The pump & filter to be placed within the building lines.
- 17.4. No Wendy-houses or similar external storage structures allowed.

18. **Sewer**

- 18.1. All stack and waste pipes to be accommodated inside yard area and to be not visible on any street façade.

19. **Storm & Rainwater Management**

- 19.1. Rainwater runoff to comply with the storm water management plan for the estate.
- 19.2. Excess stormwater must be directed to the street and into estate's stormwater drainage system.
- 19.3. Stormwater drainage through all boundary walls should be provided. The higher lying property can't concentrate excess water at a particular point without the consent of the lower lying property.

20. **Town Planning Requirements**

- 20.1. All duet units shall be divided by a communal wall constructed as a firewall in terms of the National Building Regulations.
- 20.2. The roof may be constructed in steps if the natural ground level is sloping.
- 20.3. Building lines:
 - 20.3.1. Street: 3 meters
 - 20.3.2. Street without vehicular access (corner stands): 1.5 meters
 - 20.3.3. Side: 1 meter
 - 20.3.4. Shared / common side: 0 meters
 - 20.3.5. Rear: 0.750m
- 20.4. Carports, pergolas and covered verandahs are permissible on the boundary subject to neighbours and HOA consent (which can't be unreasonably withheld).
- 20.5. Maximum coverage: 65% of the stand area (includes covered verandahs, carports and garages).

- 20.6. Minimum building size (including garage, carport and covered verandah) is 75m². The garage may be detached from the main building, but has to be linked with a covered walkway or pergola.

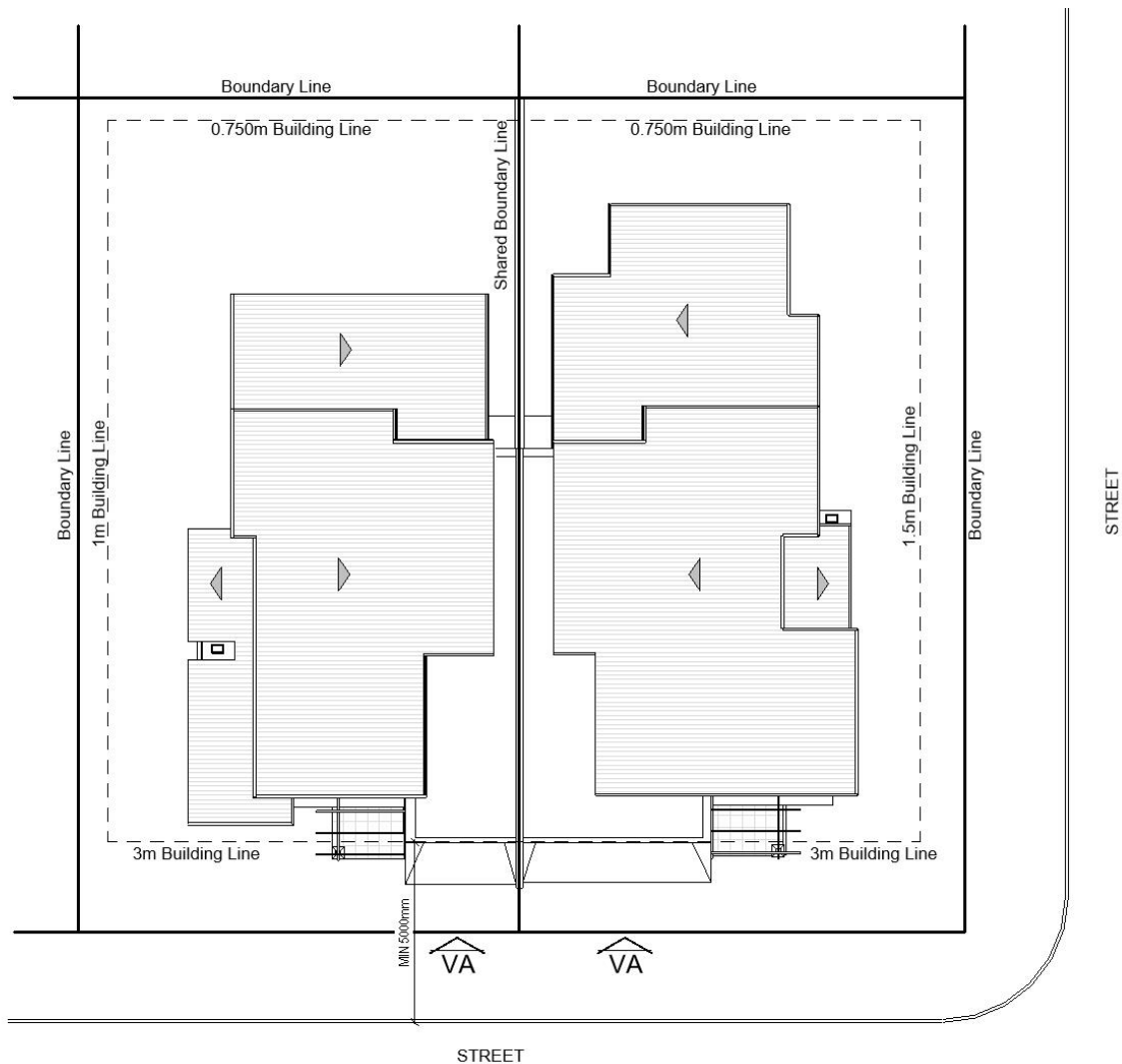


Figure 9: Illustration indicating Building Lines and Boundary lines

21. House Numbers

- 21.1. It is compulsory to display the house number as supplied by the HOA in approved position.

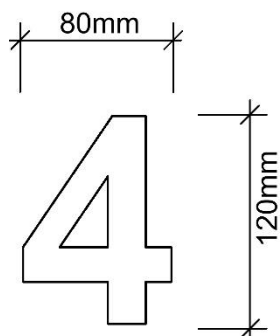


Figure 10: Typical house number size as supplied by the HOA

22. Building Plans Submission

22.1. Stage 1

22.1.1. Project Architect to prepare sketch plans in A3 format for approval by Developer.

22.1.2. The sketch plans to have the following information:

22.1.2.1. Site Plan (Scale 1:200)

- 22.1.2.1.1. Erf number
- 22.1.2.1.2. Site dimensions, building lines & servitudes.
- 22.1.2.1.3. Contours
- 22.1.2.1.4. Position of all proposed buildings with datum level, NGL & FFL
- 22.1.2.1.5. Position of the swimming pool, pump & heating device
- 22.1.2.1.6. Position of entrance to site
- 22.1.2.1.7. Position of boundary walls
- 22.1.2.1.8. All street names
- 22.1.2.1.9. North arrow
- 22.1.2.1.10. Setting out dimensions
- 22.1.2.1.11. Driveways and landscaped areas
- 22.1.2.1.12. Position of site lighting
- 22.1.2.1.13. Trees
- 22.1.2.1.14. Retaining walls
- 22.1.2.1.15. Area schedule

22.1.2.2. Dimensioned plans, elevations & sections (Scale 1:100)

- 22.1.2.2.1. Levels of all floors relevant to the site
- 22.1.2.2.2. Apex level of roof
- 22.1.2.2.3. All elevations of all buildings, boundary & screen walls
- 22.1.2.2.4. Sections through all buildings including the site to clearly indicate the construction of the building.
- 22.1.2.2.5. Room names

22.2. Stage 2

22.2.1. Project Architect to prepare documentation for Municipal submission in A1 format and present to Developer together with the approved set of sketch plans for final approval to ensure that the design of all the buildings comply with this design guide.

22.2.2. The Municipal submission documentation to have the following information

- 22.2.2.1. Site Plan (Scale 1:200) as for the sketch plans, complete with a detailed services layout.
- 22.2.2.2. Position of all external lights.
- 22.2.2.3. A stormwater management plan by a suitable qualified person.
- 22.2.2.4. All path and driveway finishes.
- 22.2.2.5. Position of communication sleeves.
- 22.2.2.6. Position of electrical connection.
- 22.2.2.7. Position of water connection and size of connection.
- 22.2.2.8. Position of sewer connection.

- 22.2.3. Plans (Scale 1:100)
- 22.2.4. Sections (Scale 1:100)
- 22.2.5. Elevations (Scale 1:100)
- 22.2.6. Roof Plan (Scale 1:200)
 - 22.2.6.1. Indicating also any positions for solar heating equipment.
- 22.2.7. Window & Door Schedule
- 22.2.8. External Finishing Schedule
- 22.2.9. External Light Fitting Schedule with pictures.
- 22.2.10. Electrical and Data Layout Plan (Scale 1:100)
- 22.3. Stage 3
 - 22.3.1. The owner is to notify the Developer and Project Architect of the approval of the building plans by the Local Authority before construction may start.
- 22.4. Stage 4
 - 22.4.1. Construction
 - 22.4.1.1. See Builders Guidelines.
- 22.5. Stage 5
 - 22.5.1. Landscaping
 - 22.5.1.1. See Landscaping Guidelines.

B. FLATS

The development plan for the flats will be evaluated and approved by the Municipal Esthetics Committee.

1. Development parameters – Flat development – Erf 29446 George

The Following Land use parameters are applicable to the flat development on Erf 29446 George.

ZONING:	SINGLE RESIDENTIAL II (FLATS)
FAR:	1
COVERAGE:	60%
HEIGHT:	3 STOREYS
BUILDING LINES:	5m STREET BOUNDARY 4,5m OTHER BOUNDARY
PARKING:	1.25 bays per dwelling 0.25 bays/unit for visitors 1 X covered parking per unit.
PERIMETER FENCE:	1.8m high Clearvu Fencing

EDEN RESIDENTIAL ESTATE LANDSCAPE GUIDELINES

Eden Residential Estate is situated on an area which previously was covered with *Eucalyptus grandis* (blue gum) plantations. Our desire is to re-establish the endemic fynbos in the large valleys which will remain undeveloped as Communal open spaces. These valleys, along with the 'Green belt' open spaces amongst the residences creates a very significant natural feeling, which should be enhanced as far as possible.

The road verge in front of the erf and all areas not covered by hard surfaces or flower beds must be lawned. Indigenous grass types such as the *Cynodon* species (Bloukweek) and *Stenophrum Secundatum* (Buffalo lawn) is preferred.

In the individual gardens, planting of trees and large shrubs must take neighbours' interest into consideration and be kept trimmed to minimize obstruction of views.

The top 600mm of soil is sandy and rich with organic content, as it was previously an old plantation with assorted clay rich sub soils laying beneath the topsoil. For these soil conditions and allowing for the strong salt laden winds, we have compiled a list of suitable indigenous plants to be used in the individual gardens.

All gardens to contain a minimum of 80% indigenous plants and water wise gardens are encouraged. This list is not by any means exhaustive, and you are free to select from other species indigenous to the area.

EDEN RESIDENTIAL ESTATE PLANT LIST

FLOWERS	GENUS & SPECIES	AFRIKAANS	ENGLISH	USE
Yellow, Summer	<i>Acacia karoo</i>	Soetdoring	Sweet Thorn	Trees, 5m
Cream yellow, Spring	<i>Acacia sieberiana</i> var. <i>Woodii</i>		Paper bark	Large tree, 15m
Yellow, Spring, Semi-deciduous	<i>Acacia xanthophloea</i>	Koorsboom	Fever tree	Large tree, 15m
White, Pink	<i>Acokanthera oppositifolia</i>		Bushman's poison	Small Trees, Large shrub, sun/semi-shade
White, Blue, Summer	<i>Agapanthus praecox</i>	Agapanthus		Groundcover & Perennial sun/semi-shade
White, Blue, Summer	<i>Agapanthus nana</i>	Agapanthus		Groundcover & Perennial sun/semi-shade
White, Pink, Spring, all year	<i>Agathosma capensis</i>	Knoffelboegoe		Fynbos, full sun, 300-900mm
Orange, Early summer	<i>Aloe arborescens</i>	Kransaalwyn	Krantz Aloe	Succulents, full sun
Orange, Early summer	<i>Aloe ferox</i>	Bitteraalwyn	Bitter Aloe	Succulents, full sun
Orange, Early summer	<i>Aloe maculata</i>	Bontaalwyn, seepaalwyn	Soap Aloe	Succulents, full sun
Orange, Early summer	<i>Aloe brevifolia</i> var. <i>Brevifolia</i>	Klein aalwyn	Short leaved aloe	Succulents, full sun
Red, Summer	<i>Aloe mitriformis</i>			Succulents, full sun
Green, Red, Spring	<i>Aloe speciosa</i>			Succulents, full sun, 3-7m
Pink, all year	<i>Anisodonteia scabrosa</i>			Shrub, full sun, 2-3m
Varied	<i>Arctotis</i> spp			Groundcover & Perennials
Mauve, violet	<i>Aristea biflora</i>			Bulbs, full sun, 200-300mm
Fern Plant	<i>Asparagus aethiopicus</i>	Katdoring, wilde aspersie	Cat thorn	Scrambler
Fern Plant	<i>Asparagus africanus</i>	Katdoring, wilde aspersie		Scrambler
Fern Plant	<i>Asparagus asparagoides</i>	Krulkransie	Cape Smilax	Climber
Fern Plant	<i>Asparagus capensis</i>	Katdoring		Scrambler

Fern Plant	Asparagus compactus			Groundcover
Fern Plant	Asparagus multiflorus			Scrambler
Purple, Pink, Autumn	Barleria obtusa	Barleria		Shrub, 600mm
Fern Plant	Blechnum tabulare	Pienk-blaar-blechnum	Pink-leaved Blechnum	Groundcover & Perennials, shade
Cream, Winterspring, Evergreen	Brachylaena discolor		Coast Silver Oak	Shrubs & Small Trees, 5m
White, Spring - Summer	Buddleja saligna	Witolien	False Olive	Small Trees, not aggressive root system
Lilac, White, Spring	Buddleja salviifolia	Saliehout	Sagewood	Shrubs & small Trees, 4m
Orange, Yellow, Summer	Bulbine frutescens	Katstert	Stalked Bulbine	Succulents
Spring - Summer, Orange	Burchellia bubalina	Wildegranaat	Wild Pomegranate	Shrubs & small Trees, sun/semi shade
Grass	Calopsis paniculata			Fynbos
Grass	Kikuyu			Kikuyu
Cream, Spring - Summer	Canthium imerme	Bokdrol	Turkey berry	Trees, evergreen
Summer, white	Carissa bispinosa	Bos Noumnoum	Forest Num Num	Shrubs & small Trees
Varied	Carpobrotus spp.	Suurvy	Sour fig	Groundcover & Perennials
Deciduous	Celtis africana	Wit Stinkhout	White stink wood	Large tree, 15m
Orange, Winter	Chasmanthe aethiopica			Bulbs
White	Chlorophytum comosum	Hen-met-kuikens	Green Spider Plant	Groundcover & Perennials
White, Summer	Cliffortia falcata			Groundcover & Perennials
Varied, Spring	Clivia miniata	Bos lelie	Bush Lilly	Groundcovers & Perennials, semi-shade
White, winter - summer	Coleonema album		Confetti bush	Shrub, full sun, 2m
Red, Late Summer, Autumn	Cotyledon orbiculata	Varkoor-plakkie	Pig's Ears	Succulent, full sun, semishade
Grass	Cyperus textillis		Umbrella sedge	Grass, Full sun, Shade
Evergreen	Cunonia capensis	Rooiels	Red-alder	Trees
Evergreen	Curtisia dentata	Assegai	Assegai	Trees
Evergreen	Cussonia thyrsiflora	Kiepersol		Trees
Varied	Delosperma laxipetalum	Skaapvygie	Sheep-Vigie	Succulent groundcover
White, Spring, Summer	Dietes grandiflora			Bulbs, full sun, 500mm
Yellow, Spring - summer	Dietes bicolor			Bulbs, full sun, 500mm
Cream, Summer	Diospyros dicophylla	Tolboa	Poison peach	Trees, 6m
Green, Yellow	Dodonea angustifolia	Sandolien	Sand Olive	Small Trees, 5m
Varied	Drosanthemum floribundum			Groundcover & Perennials
Evergreen	Ekebergia capensis	Essenhout	Cape Ash	Trees, 7m
Grass	Elegia tectorum	Kaapse Dekriet	Cape Thatching Reed	Fynbos and water gardens
White, Pink, All year	Erica cerinthoides			Fynbos
White, Spring	Erica formosa			Fynbos, 0.5m
Pink, Winter, Summer	Erica gracilis			Fynbos, 1.2m
Pale green, Winter, Summer	Erica sessiliflora			Fynbos, 1m

Red, Summer	<i>Erica speciosa</i>			Fynbos, 1-1.5m
White, Pink, All year	<i>Erica quadrangularis</i>			Fynbos, 600mm, full sun
White, All year	<i>Eriocephalus africanus</i>	Kapokbossie	Wild rosemary	Shrubs & small Trees, full sun, 1m
Yellow, All year	<i>Euryops virgineus</i>	Heuningmargriet	River Resin Bush	Shrubs, 1m
White	<i>Falkia repens</i>	Oortjies		Groundcover & Perennials
Blue, All Year	<i>Felicia aethiopica</i>	Bloumargriet	Blue Marguerite	Groundcover & Perennials
Blue, All Year	<i>Felicia amelloides</i>			Groundcover & Perennials
Blue, All Year	<i>Felicia echinata</i>			Groundcover & Perennials
Blue, All Year	<i>Felicia erigeroides</i>			Groundcover & Perennials
Blue, All Year	<i>Felicia</i> spp.	Astertjie		Groundcover & Perennials
Grass	<i>Ficinia nigrescens</i>			Sedges
Varied	<i>Freesia alba</i>		Common Fresia	Bulbs
Varied	<i>Gazania krebsiana</i>	Botterblom		Groundcover & Perennials
White, Blue, All year	<i>Freylinia tropica</i>	Blue Heuningklokkiesbos	Blue Honeybell Bush	Shrubs, 1.5m
Mauve, Spring, Summer	<i>Geranium incanum</i>	Vrouebossie	Carpet Geranium	Groundcover & Perennials
Pink, Spring	<i>Grewia robusta</i>	Kruisbessie	Buttonwood	Shrubs & small Trees
Orange, Spring, Summer	<i>Halleria lucida</i>		Tree fuschia	Shrubs & small Trees, 8m
Cream, Spring, Summer	<i>Hermannia hyssopifolia</i>			Groundcover & Perennials, 1m
Yellow, Spring	<i>Hermannia saccifera</i>			Groundcover & Perennials, 300mm
Purple, Autumn, Winter	<i>Hypoestes aristata</i>	Seeroogblommetjie		Shrubs & small Trees, 1m
White, Spring	<i>Ixia mostertii</i>			Bulbs, 450mm
White	<i>Jasminum multipartitum</i>		Wild Starry Jasmine	Creeper, climber
White	<i>Kiggelaria africana</i>		Wild Peach	Trees, 11m, not aggressive root system
Orange, Summer, Winter	<i>Kniphofia uvaria</i>	Vuurpyl	Red-hot Poker	Bulbs, 900mm
Varied	<i>Lampranthus</i> spp.	Pienk, Red, Mauve Vygie	Pink, Red, Pers Vygie	Succulent
Orange, Winter	<i>Leonotis leonorus</i>	Wildedagga	Wild Dagga	Shrubs & small Trees, 1-2m
Yellow and red leaves, Summer	<i>Leucadendron salignum</i>	Geelbos	Yello bush	Fynbos, 2m
Varied	<i>Leucospermum praecox</i>		Pincushion	Fynbos, 2-3m
Lilac, Summer	<i>Lobelia jasionoides</i>			Groundcover & Peren, sun, semi-shade
Red, Brown, Spring	<i>Melianthus major</i>	Krudjie-roer-my-nie	Giant Honey Flower	Shrubs & small Trees, full sun, semi-shade
White, Autumn, Summer	<i>Metalasia muricata</i>	Blombos	White Bristle Bush	Shrubs & small Trees, 1-1.5m
Pink, Spring, Summer	<i>Nerine humilis</i>			Bulbs, shade, semi-shade, 400mm
White, Winter	<i>Nuxia floribunda</i>		Forest elder	Trees, 3-10m, not aggressive root system
White	<i>Olea europaea ssp Africana</i>	Olienhout	Wild Olive	Trees, 11m, aggressive root system
Varied	<i>Osteospermum fruticosum</i>			Groundcover & Perennials
White, green, All year	<i>Pappea capensis</i>		Jacket plum	Trees, not large, not aggressive root system

Pink, White, Spring - Winter	Pelargonium echinatum			Groundcover & Perennials
Red Fruits	Pittosporum viridiflorum		Cheese wood	Trees, 7m
White/Lilac, Autumn - Winter	Plectranthus verticillatus		Gossip flower	Groundcover, Shade, Semishade
White, Blue, All year	Plumbago auriculata			Shrubs & small Trees, 2m
Evergreen	Podocarpus falcatus		Outeniqua Yellow wood	Trees, 15m
Pink, purple	Polygala fruticosa			Shrubs & small Trees
Pink, purple	Polygala myrtifolia	Bloueertjiebos, Septemberbos		Shrubs & small Trees
Pink, purple	Polygala virgata			Shrubs & small Trees
Pink, All year	Protea cyneroides		King Protea	Fynbos, 1-2m
Red, pink, Spring - Winter	Protea obtusifolia	Smalblaarsuikerbos		Fynbos, 2-4m
Red, cream, All year	Protea repens	Suikerbos	Sugar bush	Fynbos, 2-4m
Evergreen	Rapanea melanophloeos	Kaapse Boekenhout	Cape beech	Trees
Evergreen	Rhamnus prinoides	Blinkblaar	Dog wood	Shrubs & small Trees, 4m
Evergreen	Rhus(Searsia) crenata	Duinekraibessie		Shrubs & small Trees, 3m, good hedge
Semi-deciduous	Rhus(Searsia) chirensensis	Taaibos	Red currant	Shrubs & small Trees, 6m
Brown, Spring - Autumn	Salvia africana lutea			Shrubs & small Trees, 2m
Purple, Spring - Autumn	Salvia chamelaeagnea			Shrubs & small Trees, 1-2m
Red, Pink, Spring - Autumn	Salvia lanceolata			Groundcover & Perennials, 2m
Lilac, Summer	Scabiosa africana	Jonkmansknoop		Groundcover & Peren, full sun, 450mm
Spring, Yellow, green, Evergreen	Searsia lancea	Karee		Medium Tree, not aggressive root system
Mauve, All year	Selago glomerata			Groundcover & Perennials, 0.5m
Yellow, All year	Senecio macroglossus	Strandblommietjie	Wild cineraria	Creeper, climber
Summer - Autumn. White	Solanum giganteum	Geneesblaarbos	Healing leave tree	Large Shrub, 5m, full sun/semi-shade
Orange	Strelitzia reginae			Shrub
White	Sutera antirrhinoides			Groundcover & Perennials
Varied	Tecoma capensis		Cape honeysuckle	Shrub, 2m, sun/semi-shade
Lilac, Spring - Summer	Tulbaghia violacea	Wildeknoffel	Wild Garlic	Bulbs
Evergreen	Vepris lanceolata	Witysterhout	White Ironwood	Shrubs & Small Trees, 5m
Yellow, Spring - Summer	Wachendorfia thyrsifolia	Rooiknol	Bloodroot	Bulbs/Water Gardens
Varied	Watsonia sp.			Bulbs
White	Zantedeschia aethiopica	Varklelie, Witvarkoor	White Arum Lily	Bulbs / Water Gardens